

Supplementary Papers for Planning Committee

Date: Thursday, 14 March 2024



6. Schedule of Planning Applications

3 - 6

Please refer to the Planning Committee Addendum set out on the following pages for any further updates on planning applications listed on the agenda.

7 - 20

Published: 13 March 2024

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PLANNING COMMITTEE – 14 MARCH 2024

ADDENDUM SHEET

6a

**Land adjoining 1 Upper Terrace Road, Bournemouth BH2 5NW
7-2023-4235-J**

Add to the Informative Note: Location and Block Plans 2011 01B

6b

**Hicks Farm, Throop Road, Bournemouth BH8 0DN
7-2023-7824-E**

Remove the first suggested option for condition 11 because this application seeks to vary only condition 18. Retain the second suggested option for condition 11.

Recommendation

As per the published agenda with condition 11 option 2.

6c

**Hicks Farm, Throop Road, Bournemouth BH8 0DN
7-2023-7824-F**

Remove the first suggested option for condition 18 because this application seeks to vary only condition 11. Retain the second suggested option for condition 18.

Recommendation

As per the published agenda with condition 18 option 2

6d

Land at 40 Dorset Lake Avenue, Poole

Amended plans received to show design and location of cycle store and height of boundary walls following further survey information (attached).

Seven objections (all from addresses previously objecting to the proposal) have been received since the publication of the agenda. Having read these responses, they do not raise material planning issues not already addressed in the report.

Recommendation

Recommend approval as per the published agenda report.

Amend condition 2 as follows:

The development hereby permitted shall be carried out in accordance with the following approved plans:

9101/200-Q – Site, Block and Location plans, received 27 February 2024
9101/201-N – Floor Plans, received 15 December 2023
9101/202-P – Elevations 1, received 27 February 2024
9101/203-P – Elevations 2, received 27 February 2024
9101/204-J – Street scene and boathouse, received 27 February 2024
9101/205-O – Drainage, 27 February 2024

Reason- For the avoidance of doubt and in the interests of proper planning.

6e

**Who Dares Gyms Beach Gym, East Cliff Zigzag Bournemouth BH1 3AD
7-2023-15748-J**

Recommendation

Following an updated response from the Environment Agency the applicant will need to submit a revised Flood Risk Assessment (FRA). If Members are satisfied with the recommendation to approve the application in principle, it is recommended that the Committee resolve to Grant the application with the conditions as listed but give the Head of Planning Services delegated authority to issue the permission once the Environment Agency have agreed the FRA.

Update condition 5 as follows.

The flood risk management plan submitted with the application and as amended shall be adopted in full and prior to the use commencing a Flood Emergency Evacuation Plan shall be prepared in consultation with the Environment Agency and the Council Flood Management Team and this shall be followed at all times.

Reason: To ensure the safety of customers and staff and in accordance with saved Policy 3.28 of the Bournemouth District Wide Local Plan (2002).

Add additional condition

Noise Management Plan

Prior to operation of the use a noise and sound management plan shall be submitted to and approved by the Council. The maximum sound levels and times of any PA / amplified sound system shall be agreed.

Reason: In order to protect the environmental amenities of the immediate locality and in accordance with Policy CS38 and CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

6f

**East Undercliff Drive to the right of East Cliff Lift, Bournemouth, BH2 5AA
7-2023-15059-AA**

Recommendation

Following an updated response from the Environment Agency the applicant will need to submit a revised Flood Risk Assessment (FRA). In the absence of an agreed FRA an additional reason for refusal is recommended as follows.

“The application site lies within Flood Zone 3, which represents an area at high risk of tidal flooding. The National Planning Policy Framework (paragraph 167, footnote 55) states that a Flood Risk Assessment (FRA) must be submitted when development is proposed in such locations. The applicant has failed to submit an acceptable FRA and therefore the flood risks posed by the development are unknown.”

6g

**The Ferryman, 6 New Quay Road, Poole, BH15 4AF
APP/23/00279/F**

No update required.

Recommendation

As per the published agenda report.

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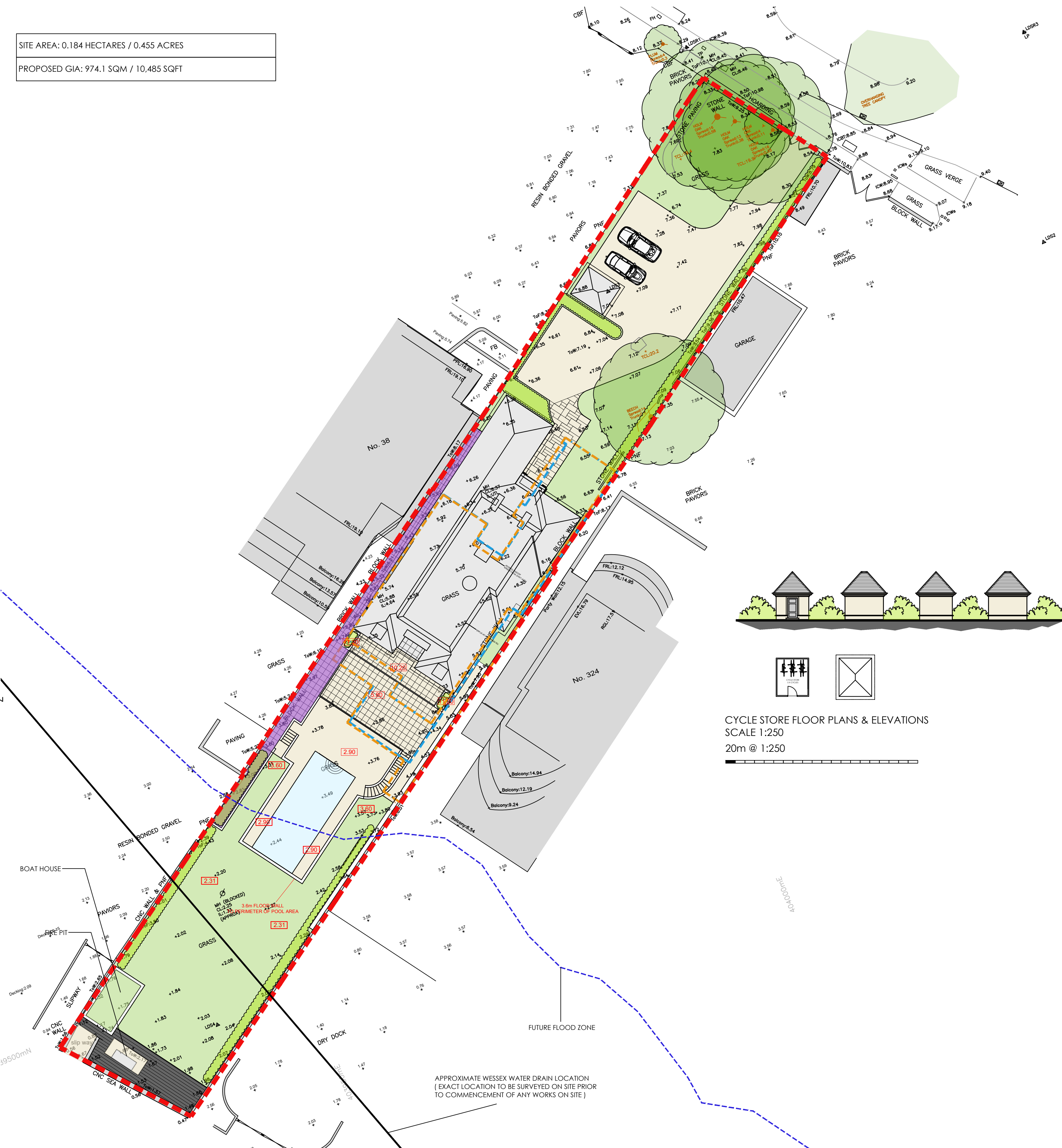
THE PLAN: BASED ON TOPOGRAPHICAL SURVEY INFORMATION
SCALE 1:250
m @ 1:250

Building Products and Construction Execution Hazards

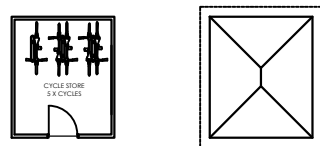
The design team have highlighted unusual and significant risks only that may not be obvious to a competent contractor. They are to assist with risk reduction only and are not necessarily comprehensive. It is assumed that all works will be carried out by a competent contractor following good site management, site practice procedures, to an approved method statement (where appropriate) and in accordance with HSE guidance.

The proposed works are designed on a well established method of construction which can be carried out by a competent contractor. However, should the contractor find any area of concern he must inform the designer in order that appropriate action can be taken.

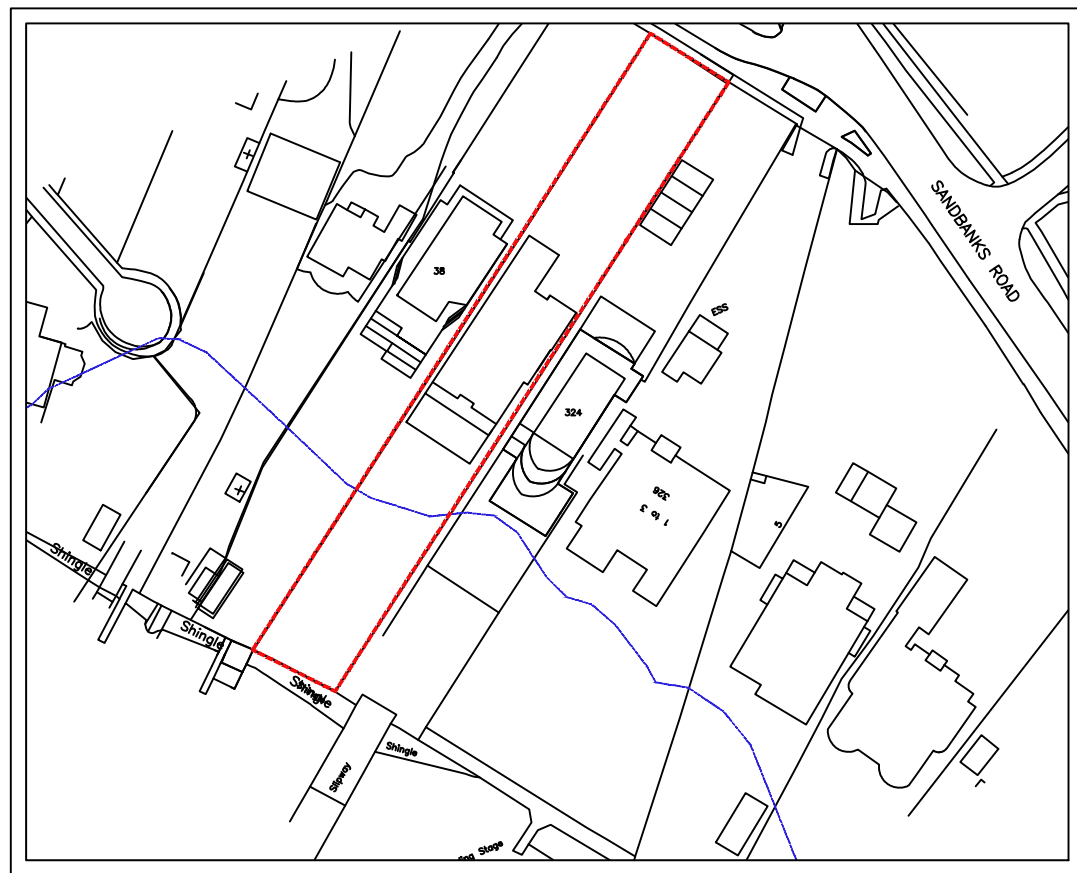
For significant hazards specific to this project see the following



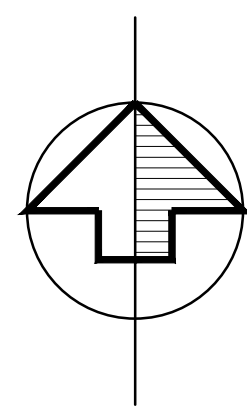
CYCLE STORE FLOOR PLANS & ELEVATIONS
SCALE 1:250
20m @ 1:250



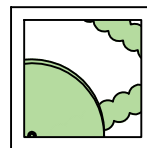
BLOCK PLAN: BASED ON ORDNANCE SURVEY EXTRACT
SCALE 1:500
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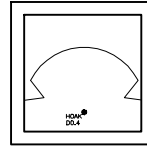
LOCATION PLAN: BASED ON ORDNANCE SURVEY EXTRACT
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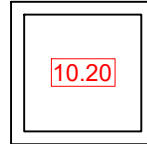
1. The contents of this drawing are copyright.
2. Planning drawings are only to be used for planning purposes & no reliance on compliance with Building Regulations should be placed on drawings.
3. Do not scale. Figure dimensions only to be used.
4. If any error or misstatement occurs, please report any discrepancies before putting work in hand or commencing work.
5. All floor tops to be fitted with a checked safety system. CDM 2015 regulations unless otherwise stated. The contractor is provided to show appropriate compliance has been sought and approved.
6. All work to be carried out in accordance with the checked by the fabricator for core, compliance and sizing, prior to construction/delivery. Dimensions to be designed before fabrication.
7. To be instructed and approved by the client. The contractor is provided to show appropriate compliance has been sought and approved.
8. All of basement waterproofing designs. - CARRY no responsibility of PRC for basement design of all construction or structure in any way.
9. The contractor is provided to show appropriate compliance has been sought and approved. If you have not received this form by post, email or collection please contact us for a copy before moving forward with the project. If you have received this form by post, email or collection please contact us for a copy before moving forward with the project. Do not use this form for anything other than the purpose intended. If you have received this form by post, email or collection please contact us for a copy before moving forward with the project. Do not use this form for anything other than the purpose intended. If you have received this form by post, email or collection please contact us for a copy before moving forward with the project. Do not use this form for anything other than the purpose intended.
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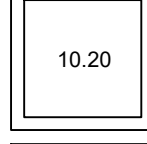
PROPOSED PLANTING



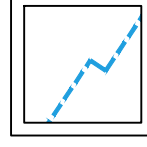
EXISTING TREES TO BE



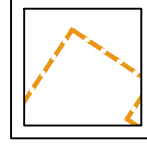
PROPOSED LEVELS
(RED)



EXISTING LEVELS
(BLACK)



OUTLINE OF NMA APPROVAL
APP_13_00071_F



OUTLINE OF PLANNING APPROVAL
APP/10/01557/F

Q	• Amendments following updated topographical survey information, • Cycle store added	26.02.24	WD
P	Scale bars added	15.12.23	WD
O	Outline of planning approvals removed & rear terrace reduced to be 0.9m further away from north west boundary	11.12.23	WD
N	Outline of planning approval added	15.11.23	WD
M	Landscape amended following tree consultant comments	17.11.22	WD
L	planners comments	08.11.22	BC
K	various outlines removed	29.04.22	BC
J	amendments to CLEUD approval	24.05.22	BC
I	rear stairs moved	11.05.22	BC
H	clients comments	31.03.22	BC
G	Planners comments	16.03.22	WD
F	• Ground floor & first floor balcony @ the rear pulled North East 750mm. • Proposed level added to first floor balcony. • North west elevation, outline of approved amended. • 324 Sandbanks Road patio area level amended. • Outline of proposed flats currently under construction @ 38 Dorset Lake Avenue added to rear elevation • Outline of proposed flats currently under construction @ 38 Dorset Lake Avenue added to street scene	05.05.21	WD
E	Front element of proposed house amended following comments.	05.05.21	WD
D	Proposed levels amended following comments.	25.03.21	WD
C	Front element of proposed building mirrored.	16.12.20	WD
B	Extra level information added.	26.11.20	BC
A	Minor amendments.	19.11.20	WD
No.	Revision.	date	by

PROPOSED DEVELOPMENT
40 DORSET LAKE AVENUE
LILLIPUT
POOLE
DORSET

SITE, BLOCK & LOCATION PLANS

scale	AS SHOWN @ A1						checked	//
date	AUGUST 2020						drawn	WD
9101 / 200							A.	B.
							C.	D.
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Web: www.andersrobertscheer.co.uk



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EXISTING LEVELS



6

FRONT NORTH EAST ELEVATION
SCALE: 1:100 @ A1

PROPOSED DEVELOPMENT
40 DORSET LAKE AVENUE
LILLIPUT
POOLE
DORSET

scale	AS SHOWN @ A1	checked	//					
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9101 / 202		A.	B.	C.	D.	E.	F.	G.
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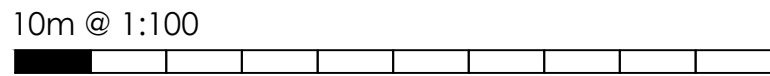
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E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk

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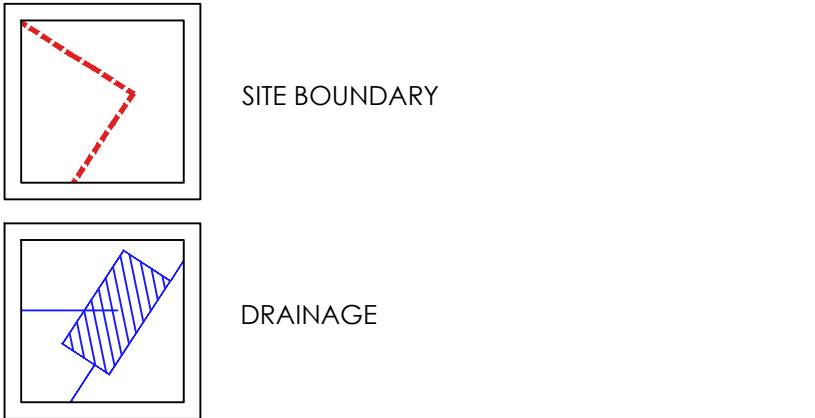
REAR SOUTH WEST ELEVATION (POOL HOUSE)
SECTION B-B
SCALE: 1:100 @ A1



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1. The contents of this drawing are copyright.
2. Planning drawings are only to be used for planning purposes & no reliance on compliance with Building Regulations should be assumed.
3. Do not scale. Figured dimensions only to be used.
4. Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
5. All flat roofs to be fitted with a man safe system to satisfy CDM 2015 regulations unless written confirmation from Principle Designer/Principle Contractor is provided to show alternative compliance has been sought and approved.
6. Stair design to be independently checked by stair fabricator for regs. compliance and sizing, prior to construction/ ordering. Dimensions to be checked before fabrication.
7. Maderman waterproofing specialists (or similar company with relevant P insurance) to be instructed and detail all basement waterproofing designs. - ARC carry no responsibility or P cover for basement design in terms of waterproofing or structure in any way.
8. A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
9. We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or areas of control for planning purposes.
10. We do not take responsibility for meeting minimum space as setout in Government Technical housing standards - nationally described space standards document.
11. All Cladding & building attachments externally to be all A1 fire rated.
12. We do NOT take any responsibility and do not carry any P cover in relation to any matters relating to fire safety. Part 8 building regulations, BS 9991 for fire or EW1 and drawings in no way form a fire strategy/ report. All design/ details relating to Fire Safety are shown for indicative purposes only and should be read in conjunction with the latest version of the Appointed Fire Consultant Fire Strategy Document/ Report - all information contained in such a report supersedes ARC drawings in all aspects. No assumption of any responsibility is accepted. If you are unaware who the appointed fire consultant is or don't have a copy of the latest version of the report please contact arc in writing immediately.
EW1: an independent and an appropriately qualified and insured fire consultant/engineer should be appointed by the client/contractor to ensure the finished project is compliant. Some mortgage companies require EW1's on buildings outside of the EW1 standard criteria.
Part 8 & Fire Safety: An independent and appropriately qualified fire consultant should be instructed by the client/contractor at the earliest possible point in the design process to ensure compliance with Part 8 & fire safety. Please note that subject to a fire consultants confirmation/input the following points may be required in some or all areas of the building: 1) Sprinkler systems 2) Mechanical smoke extraction 3) Fixed shut fire safety glass 4) plan changes in relation to fire safety could result in loss of usable floor area and potential requirement for additional planning applications. (this list is not exhaustive)

LEGEND



O	- Amendments following updated topographical survey information. - Cycle store added	26.02.24	WD
N	Scale bars added	15.12.23	WD
M	Outline of planning approvals removed & rear terrace reduced to be 0.9m further away from north west boundary	11.12.23	WD
L	Attenuation tank relocated following comments.	22.09.23	WD
K	Landscaping amended following tree consultant comments	17.11.22	WD
J	REAR STAR LOCATION MOVED	08.11.22	WD
I	REAR STAR LOCATION MOVED	11.05.22	WD
H	PLANNERS COMMENTS	31.03.22	WD
G	PLANNERS COMMENTS	24.03.22	WD
F	- Ground floor & first floor balcony @ the rear pulled North East 750mm. - Proposed level added to first floor balcony. - North west elevation, outline of approved amended. 324 Sandbanks Road patio area level amended. - Outline of proposed flats currently under construction @ 38 Dorset Lake Avenue added to rear elevation - Outline of proposed flats currently under construction @ 38 Dorset Lake Avenue added to street scene	05.05.21	WD
E	Front element of proposed house amended following comments.	05.05.21	WD
D	Proposed levels amended following comments.	25.03.21	WD
C	Front element of proposed building mirrored.	16.12.20	WD
B	Extra level information added.	26.11.20	BC
A	Minor amendments.	19.11.20	WD
No.	Revision.	date	by

PROPOSED DEVELOPMENT
40 DORSET LAKE AVENUE
LILLIPUT
POOLE
DORSET

INDICATIVE DRAINAGE PLAN

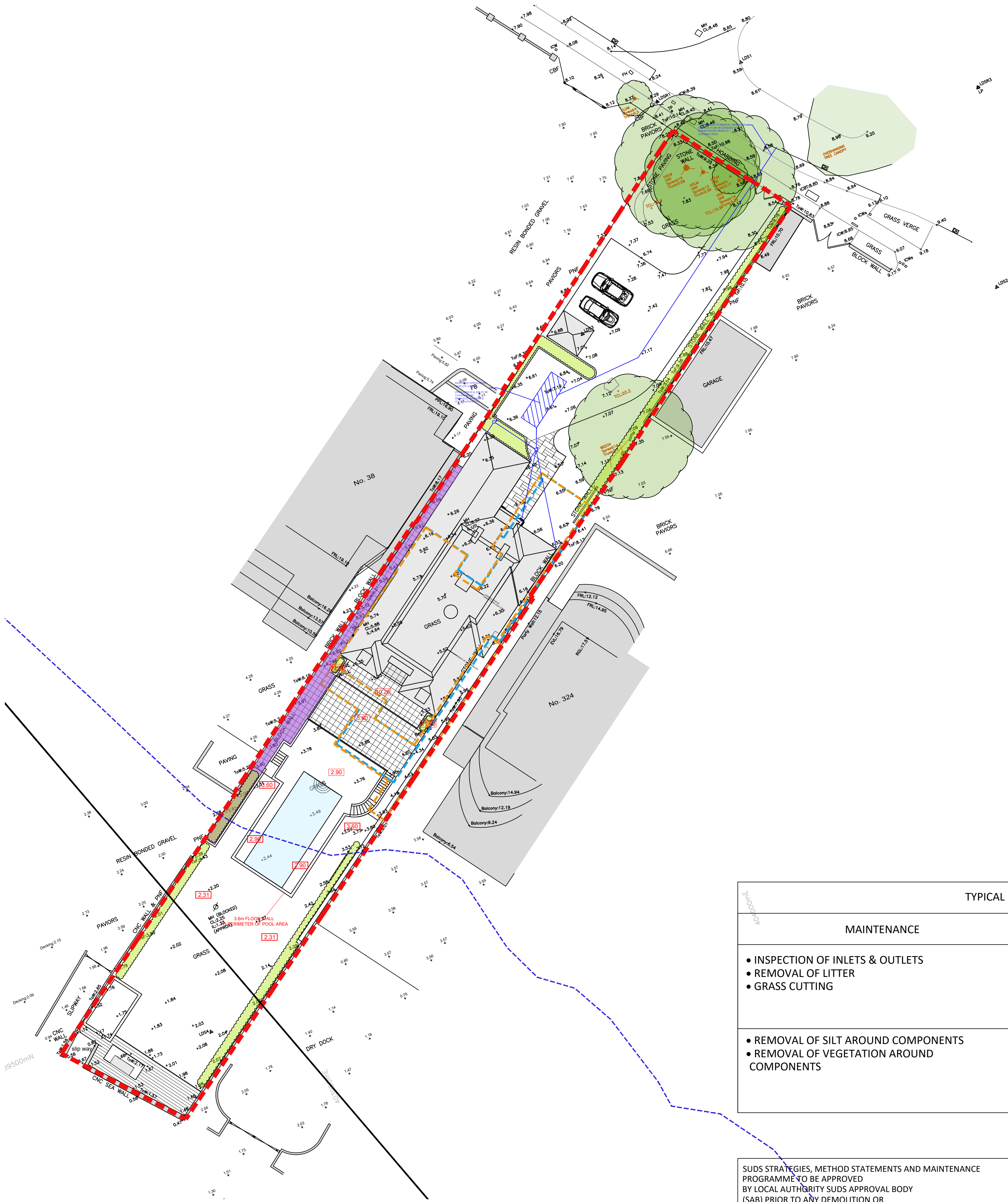
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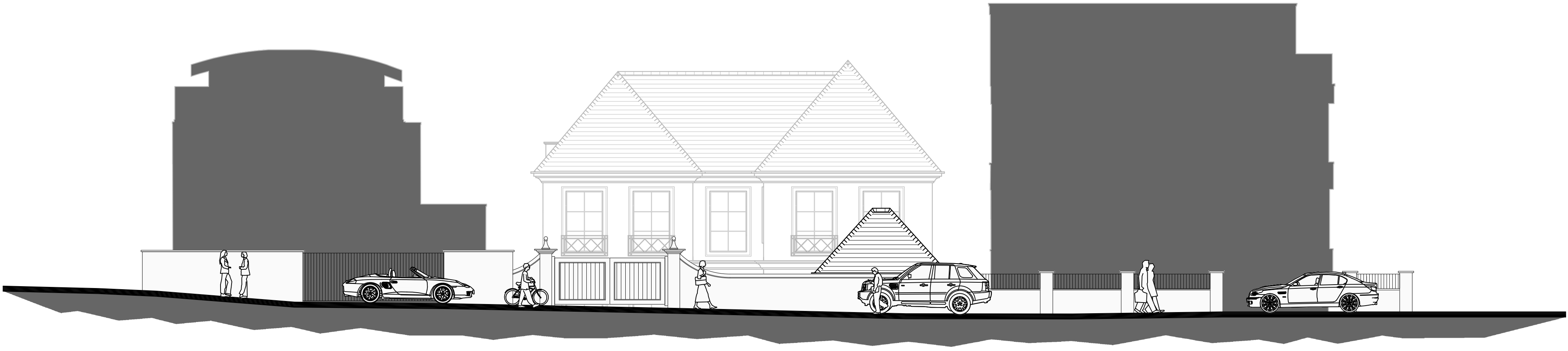


DRAINAGE PLAN: BASED ON TOPOGRAPHICAL SURVEY INFORMATION
SCALE 1:250
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2. Planning drawings are only to be used for planning purposes & no reliance on compliance with Building Regulations should be assumed.
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11B: We do NOT take any responsibility and do not carry any P1 cover in relation to any matters relating to fire safety. Part B building regulations, BS 9991 for fire or EW1 and drawings in no way form a fire strategy/ report. All design/ details relating to Fire Safety are shown for indicative purposes only and should be read in conjunction with the latest version of the Appointed Fire Consultant Fire Strategy Document/ Report - all information contained in such a report supersedes ARC drawing in all aspects. No assumption of any responsibility is accepted. If you are unaware who the appointed fire consultant is or don't have a copy of the latest version of the report please contact arc in writing immediately.
EW51: an independent and an appropriately qualified and insured fire consultant/engineer should be appointed by the client/contractor to ensure the finished project is compliant. Some mortgage companies require EW51's on buildings outside of the EW1 standard criteria.
Part B & Fire Safety: An independent and appropriately qualified fire consultant should be instructed by the client/contractor at the earliest possible point in the design process to ensure compliance with Part B & Fire safety. Please note that subject to a fire consultants confirmation/input the following points may be required in some or all areas of the building: 1) Sprinkler systems 2) Mechanical smoke extraction 3) Fixed shut fire safety glass 4) plan changes in relation to fire safety could result in loss of usable floor area and potential requirement for additional planning applications. (this list is not exhaustive)

LEGEND



STREET SCENE (FOR INDICATIVE PURPOSES ONLY)
SCALE: 1:100 @ A1

BOAT HOUSE @ 17.6 SQM / 189 SQFT

J	- Amendments following updated topographical survey information. - Cycle store added	26.02.24	WD
I	planners comments	8.11.22	BC
H	various outlines removed	29.06.22	BC
G.	PLANNERS COMMENTS	24.03.22	WD
F.	- Ground floor & first floor balcony @ the rear pulled North East 750mm. - Proposed level added to first floor balcony. - North west elevation, outline of approved amended. 324 Sandbanks Road patio area level amended. - Outline of proposed flats currently under construction @ 38 Dorset Lake Avenue added to rear elevation - Outline of proposed flats currently under construction @ 38 Dorset Lake Avenue added to street scene	05.05.21	WD
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B.	Extra level information added.	26.11.20	BC
A.	Minor amendments.	19.11.20	WD

No.	Revision.	date	by
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PROPOSED DEVELOPMENT
40 DORSET LAKE AVENUE
LILLIPUT
POOLE
DORSET

STREET SCENE & BOAT HOUSE

scale	AS SHOWN @ A1	checked	//
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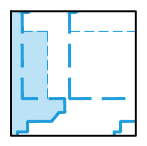
LEGEND



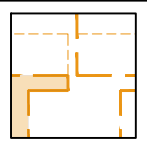
PROPOSED LEVELS



EXISTING LEVELS



OUTLINE OF NMA APPROVAL
APP_13_00071_F
(SOLID HATCHING TO INDICATE ELEMENT OF
APPROVED BUILDING CLOSEST TO NORTH-WEST
BOUNDARY)

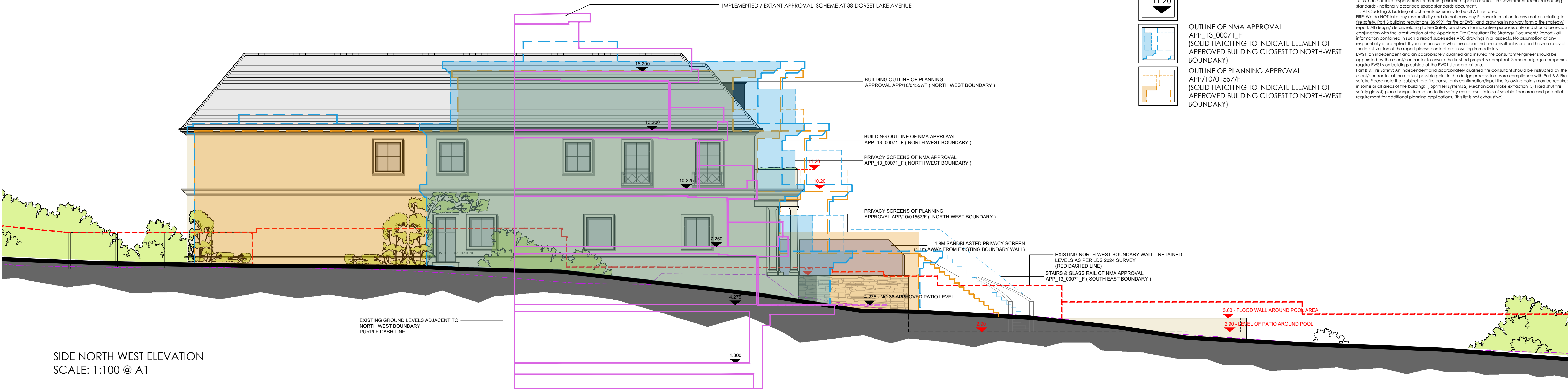


OUTLINE OF PLANNING APPROVAL
APP/10/01557/F
(SOLID HATCHING TO INDICATE ELEMENT OF
APPROVED BUILDING CLOSEST TO NORTH-WEST
BOUNDARY)

NOTES-PLANNING

rev-08-10-21

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2. Planning drawings are only to be used for planning purposes & no reliance on compliance with Building Regulations should be assumed.
3. Do not scale. Figured dimensions only to be used.
4. Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
5. All flat roofs to be fitted with a man safe system to satisfy CDM 2015 regulations unless written confirmation from Principle Designer/Principle Contractor is provided to show alternative compliance has been sought and approved.
6. Stair design to be independently checked by stair fabricator for regs, compliance and sizing, prior to construction/ ordering. Dimensions to be checked before fabrication.
7. Maderman waterproofing specialists (or similar company with relevant P1 insurance) to be instructed and detail all basement waterproofing designs. - ARC carry no responsibility or P1 cover for basement designs in terms of waterproofing or structure in any way.
8. A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
9. We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or area of control for planning purposes.
10. We do not take responsibility for meeting minimum space as set out in Government Technical housing standards - nationally described space standards document.
11. All Cladding & building attachments externally to be all A1 fire rated.
- 11B: We do NOT take any responsibility and do not carry any P1 cover in relation to any matters relating to fire safety. Part 8 building regulations, BS 9991 for fire or EW1 and drawings is no way form a fire strategy/ report. All design/ details relating to Fire Safety are shown for indicative purposes only and should be read in conjunction with the latest version of the Appointed Fire Consultant Fire Strategy Document/ Report - all information contained in such a report supersedes ARC drawings in all aspects. No assumption of any responsibility is accepted. If you are unaware who the appointed fire consultant is or don't have a copy of the latest version of the report please contact arc in writing immediately.
- EW1: an independent and an appropriately qualified and insured fire consultant/engineer should be appointed by the client/contractor to ensure the finished project is compliant. Some mortgage companies require EW1's on buildings outside of the EW1 standard criteria.
- Part 8 & Fire Safety: An independent and appropriately qualified fire consultant should be instructed by the client/contractor at the earliest possible point in the design process to ensure compliance with Part 8 & Fire safety. Please note that subject to a fire consultants confirmation/input the following points may be required in some or all areas of the building: 1) Sprinkler systems 2) Mechanical smoke extraction 3) Fixed shut fire safety glass 4) plan changes in relation to fire safety could result in loss of usable floor area and potential requirement for additional planning applications. (this list is not exhaustive)



B	• Amendments following updated topographical survey information.	26.02.24	WD
	• Cycle store added		
A	Scale bars added	15.12.23	WD
No.	Revision.	date	by

PROPOSED DEVELOPMENT
40 DORSET LAKE AVENUE
LILLIPUT
POOLE
DORSET

ELEVATIONS WITH PLANNING APPROVALS
OVERLAY 1 OF 2

scale	AS SHOWN @ A1	checked	//
date	DECEMBER 2023	drawn	WD
9101 / 206		A	B

ARC Architecture Ltd.

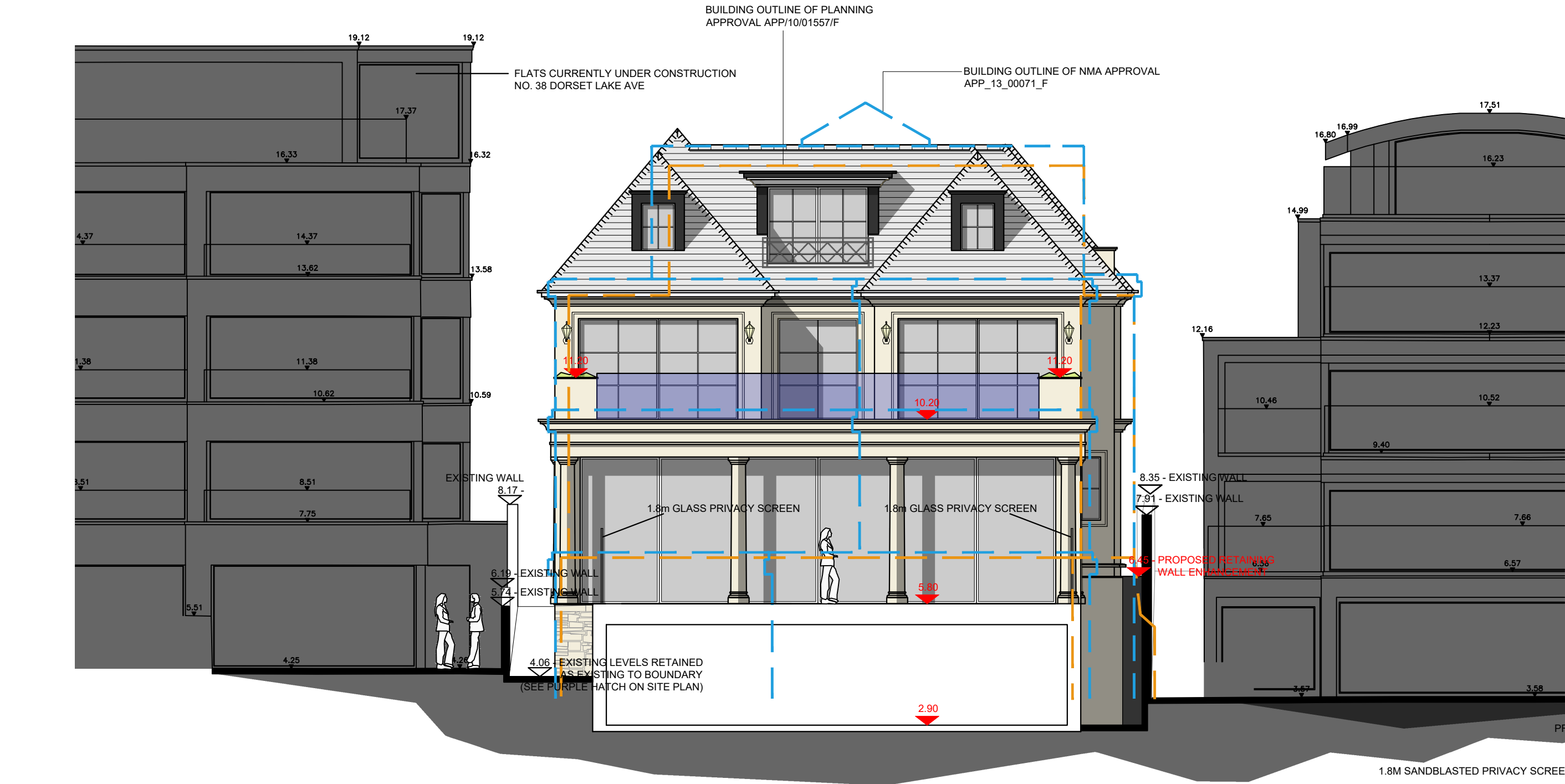
Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk

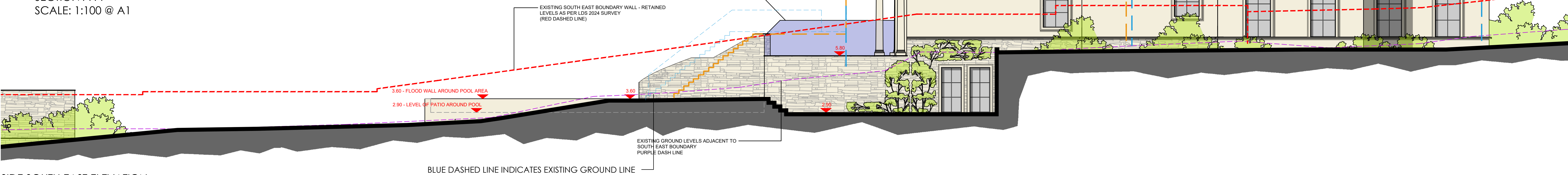
arc
ARCHITECTS

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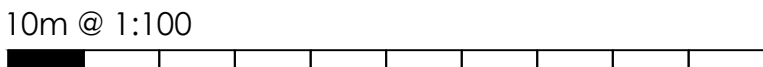
REAR SOUTH WEST ELEVATION
SECTION A-A
SCALE: 1:100 @ A1



SIDE SOUTH EAST ELEVATION
SCALE: 1:100 @ A1



REAR SOUTH WEST ELEVATION (POOL HOUSE)
SECTION B-B
SCALE: 1:100 @ A1

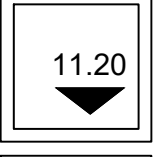


OUTLINES OF APPROVED SCHEMES NOT DRAWN BY ARC ARCHITECTURE TAKEN FROM APPROVED PDF DRAWING FROM BCP COUNCILS WEBSITE AND SCALED AS ACCURATELY AS POSSIBLE TO OVERLAY ARC'S DRAWINGS & EXISTING SURVEY INFORMATION BY SURVEYOR WITH CROSS REFERENCING OF A.O.D HEIGHTS

LEGEND



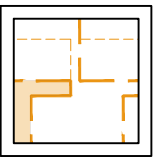
PROPOSED LEVELS



EXISTING LEVELS



OUTLINE OF NMA APPROVAL
APP_13_00071_F



OUTLINE OF PLANNING APPROVAL
APP_19/01557/F

- B
- Amendments following updated topographical survey information.
 - Cycle store added

A	Scale bars added	15.12.23	WD
No.	Revision.	date	by

PROPOSED DEVELOPMENT
40 DORSET LAKE AVENUE
LILLIPUT
POOLE
DORSET

ELEVATIONS WITH PLANNING APPROVALS
OVERLAY 2 OF 2

scale	AS SHOWN @ A1	checked	//
date	AUGUST 2020	drawn	WD
		A	B

9101 / 207

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